

An Outbuilding for: 1000 Halcyon Avenue

1000 Halcyon Avenue
Nashville, TN

Issued for Construction
27 April, 2023

04.27.2023

1000 Halcyon Avenue

1. CONTRACTOR ACKNOWLEDGES THAT PRIOR TO SUBMISSION OF HIS BID HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK. GENERAL LOCAL CONDITIONS, PARTICULARLY THOSE BEARING UPON TRANSPORTATION, CODES AND ORDINANCES, DISPOSAL, HANDLING AND STORAGE OF MATERIALS, AVAILABILITY OF LABOR, AS WELL AS ALL OTHER MATTERS WHICH MAY IN ANY WAY AFFECT THE WORK OR COST THEREOF.

2. ANY FAILURE BY CONTRACTOR TO ACQUAINT HIMSELF WITH ALL AVAILABLE INFORMATION CONCERNING THESE CONDITIONS WILL NOT RELIEVE HIM FROM THE RESPONSIBILITY OF PROPERLY ESTIMATING THE DIFFICULTY OR COST OF SUCCESSFULLY PERFORMING THE WORK.

3. ALL WORK SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS, (IF PROVIDED). ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS OR SHOWN ON THE DRAWINGS AND NOT SHOWN ON THE SPECIFICATIONS SHALL BE DEEMED TO BE SHOWN OR MENTIONED IN BOTH.

4. SHOULD THERE BE ANY VARIANCE, DISCREPANCY, INCONSISTENCY OR CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.

5. SHOULD CONTRACTOR, IN PREPARING HIS BID OR AT ANY TIME THEREAFTER, FIND ANY DISCREPANCY, INCONSISTENCY, CONFLICT OR OMISSION IN, OR BE IN DOUBT AS TO THE EXACT MEANING OF THE DRAWINGS OR SPECIFICATIONS, HE SHALL IMMEDIATELY, AND BEFORE PROCEEDING FURTHER, NOTIFY OWNER'S REPRESENTATIVE IN WRITING. OWNER'S REPRESENTATIVE WILL IMMEDIATELY RESOLVE SUCH DISCREPANCY AND FURNISH CONTRACTOR WITH WRITTEN INSTRUCTIONS WITH RESPECT THERE TO. IT WILL NOT BE A DISCREPANCY IF THESE SPECIFICATIONS DO NOT MENTION PORTIONS OF WORK WHICH THE DRAWINGS COMPLETELY EXPLAIN.

6. FIELD MEASUREMENTS/CONDITIONS
A. ALL FIELD MEASUREMENTS AND CONDITIONS SHALL BE VERIFIED AT THE BUILDING BY THE CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE CORRECTNESS OF HIS WORK AND WILL BE COMPELLED TO REPLACE WITH NEW, ALL INCORRECT WORK. WHEN BUILDING MEASUREMENTS CANNOT BE SECURED FOR ANY PART OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT ONCE.
B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND SHALL REPORT TO OWNER'S REPRESENTATIVE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY WORK AT ONCE.

C. CONTRACTOR SHALL CHECK DOOR OPENINGS TO DETERMINE MAXIMUM SIZE OF EQUIPMENT, FIXTURES OR UNITS THAT CAN BE TAKEN INTO THE BUILDING AND TO THE AREA WHERE THEY ARE TO BE USED.
D. THE CONTRACTOR SHALL FURNISH DIMENSIONED DRAWINGS AS MAY BE NECESSARY FOR USE BY OTHER CONTRACTORS IN DETERMINING LOCATIONS OF WALLS, PARTITIONS, SOFFITS, ETC. IT IS THE INTENTION THAT SUCH DIMENSIONED DRAWINGS SHALL BE FURNISHED ON THE EARLIEST POSSIBLE DATE SO AS TO ENABLE OTHER CONTRACTORS TO PROCEED WITH THEIR WORK WITHOUT CAUSING DELAY IN THE COMPLETION OF WORK BEING DONE BY OTHERS.

7. UPON NOTICE TO PROCEED, CONTRACTOR SHALL OBTAIN PERMIT TO PERFORM WORK AND FURNISH OWNER WITH COPY THEREOF. CONTRACTOR SHALL ALSO OBTAIN ALL OTHER NECESSARY PERMITS, LICENSES, WARRANTS AND ANY OTHER CONSENT OR APPROVAL OR AUTHORIZATION FROM ANY AGENCY, PUBLIC OR PRIVATE, REQUIRED FOR THE WORK OR ANY PORTION THEREOF. EXPENSE FOR PERMITS WILL BE BORNE BY THE CONTRACTOR. CONTRACTORS WILL GIVE ALL NECESSARY NOTICES, PAY ALL FEES REQUIRED BY LAW, AND SHALL OBSERVE AND ABIDE BY ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, RULES AND REGULATIONS AND CODES RELATING TO THE WORK AND TO THE PRESERVATION OF PUBLIC HEALTH AND SAFETY. BY ENTERING INTO THIS AGREEMENT, CONTRACTOR WARRANTS AND REPRESENTS THAT HE IS THOROUGHLY FAMILIAR WITH ALL APPLICABLE BUILDING CODES, ORDINANCES, LAWS OR OTHER REGULATIONS GOVERNING THE WORK.

8. IF CONTRACTOR AT ANY TIME ASCERTAINS THAT ANY AGREED REQUIREMENT IS AT VARIANCE WITH APPLICABLE LAWS, ORDINANCES, REGULATIONS OR BUILDING CODE REQUIREMENTS, HE SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE. ANY NECESSARY CHANGES SHALL BE ACCOMPLISHED BY CHANGE ORDER. SHOULD CONTRACTOR FAIL TO GIVE SUCH NOTICE AND PROCEED WITH WORK, HE SHALL BEAR ANY COSTS OR EXPENSES INCURRED IN MAKING CHANGES REQUIRED AS A RESULT OF SUCH VARIANCE.

9. CONTRACTOR SHALL DILIGENTLY PROSECUTE THE WORK TO COMPLETION AND SHALL AT ALL TIMES HAVE A COMPETENT SUPERINTENDENT, SATISFACTORY TO THE OWNER'S REPRESENTATIVE, ON SITE AT ALL TIMES WITH COMPLETE AUTHORITY TO ACT FOR HIM.

10. DELAYS / EXTENSIONS
A. GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR KEEPING AHEAD OF CONSTRUCTION PROGRESS, AND WHERE DELAYS HAVE OCCURRED DUE TO GENERAL CONTRACTOR'S FAULT, MAKE UP THE LOST TIME AT HIS OWN EXPENSE AS NECESSARY TO MAINTAIN THE CONTRACT SCHEDULE.
B. ALL WORKS MUST BE COMPLETED WITHIN THE TIME AND UPON THE DATES SPECIFIED (IF APPLICABLE).
C. THE COMPLETION DATES ARE ESSENTIAL AND NO REQUEST BY CONTRACTOR FOR AN EXTENSION OF TIME WILL BE CONSIDERED UNLESS IN OWNER'S REPRESENTATIVE'S OPINION THE REASON FOR SUCH REQUEST: 1) ACTUALLY PREVENTS CONTRACTOR FROM PROSECUTING THE WORK; AND 2) CAUSES A DELAY IN COMPLETION BEYOND THE SPECIFIED DATES.
D. IF GRANTED, EXTENSIONS OF TIME SHALL BE BASED UPON THE ACTUAL DELAY IN THE COMPLETION OF WORK AS DETERMINED BY OWNER'S REPRESENTATIVE. CLAIMS FOR EXTENSIONS OF TIME SHALL BE MADE IN WRITING WITHIN FIVE (5) CALENDAR DAYS AFTER THE OCCURRENCE OR CAUSE FOR DELAY OR SUCH CLAIM SHALL BE DEEMED INVALID. CLAIMS FILED WITHIN SAID FIVE (5) DAY PERIOD SHALL BE ACCEPTED OR REJECTED BY OWNER'S REPRESENTATIVE UPON THE TERMS HEREIN.
E. WHENEVER AN ACTUAL OR POTENTIAL LABOR DISPUTE IS DELAYING OR THREATENS TO DELAY PERFORMANCE OF WORK, CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND SHALL FORTHWITH FURNISH WRITTEN NOTICE THEREOF TO OWNER. SUCH NOTICE SHALL INCLUDE ALL RELEVANT INFORMATION CONCERNING SAID DISPUTE.

11. CHANGES IN WORK
A. OWNER'S REPRESENTATIVE, WITHOUT INVALIDATING THE AGREEMENT, MAY ORDER CHANGES BY ALTERING, ADDING TO OR DELETING FROM THE WORK; IN SUCH EVENT, THE AGREEMENT SHALL BE MODIFIED. SUCH CHANGES SHALL BE MADE ONLY WHEN ORDERED IN WRITING BY THE ARCHITECT OR OWNERS AND/OR REQUESTED AND PAID FOR BY THE OWNERS.

12. WORKMANSHIP AND MATERIALS
A. ALL WORKMANSHIP SHALL BE OF THE HIGHEST QUALITY AND CURRENTLY PREVAILING IN THE TRADE.

B. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS, SUPPLIES, PARTS, EQUIPMENT AND ARTICLES INCORPORATED IN THE WORK SHALL BE NEW, OF RECENT MANUFACTURE, FREE FROM DEFECTS AND IMPERFECTIONS AND THE BEST GRADE OF THE RESPECTIVE KIND FOR THE PURPOSE SPECIFIED, WHEREVER PRACTICABLE, THE STANDARD PRODUCT OR A RECOGNIZED, REPUTABLE MANUFACTURER SHALL BE USED. REFERENCE TO ANY ARTICLE, DEVICE, PRODUCT, MATERIAL, FIXTURE, FORM OR TYPE OF CONSTRUCTION BY NAME, MAKE OR CATALOG NUMBER ESTABLISHES A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS A LIMITATION UPON COMPLETION.

C. CONTRACTOR MAY SUBSTITUTE MATERIALS AND ARTICLES OF QUALITY AND MERIT EQUAL TO THOSE SPECIFIED WITH OWNER'S PRIOR WRITTEN APPROVAL. REQUESTS FOR SUBSTITUTIONS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE AND MUST BE ACCOMPANIED BY ALL TECHNICAL INFORMATION AND DATA RELATIVE TO QUALITY, PERFORMANCE, ETC., TO PROVIDE A PROPER COMPARISON. IF REQUESTED, CONTRACTOR SHALL SUBMIT SAMPLES OF ANY SUBSTITUTION. ANY SUBSTITUTION USED WITHOUT APPROVAL SHALL BE SUBJECT TO REJECTION AND REPLACEMENT AT CONTRACTOR'S EXPENSE.

D. CONTRACTOR SHALL, AT HIS EXPENSE, MAKE ANY CHANGES REQUIRED IN DETAILS, DIMENSIONS, ARRANGEMENT, EQUIPMENT OR ANY OTHER ADDITIONS OR ALTERATION TO THE WORK RESULTING FROM ANY APPROVED SUBSTITUTION. SUCH CHANGES MUST BE APPROVED BY OWNER'S REPRESENTATIVE. THE ENTIRE SYSTEM TO WHICH THE SUBSTITUTION APPLIES AND ALL WORK INSTALLED IN CONNECTION THEREWITH RELATED THERETO MUST FUNCTION AS A UNIT AS ORIGINALLY INTENDED.

13. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK, HIS SUBCONTRACTORS WORK, AND WORK OF THE VARIOUS TRADES INCLUDED IN THIS AGREEMENT SO AS TO AVOID CONFLICTS BETWEEN THEM AND OTHER CONTRACTORS. ANY CHANGES IN WORK RESULTING FROM FAILURE TO COORDINATE, AND ANY LOSS, EXPENSE OR DAMAGE RESULTING FROM INJURY TO THE WORK OF ONE SUBCONTRACTOR OR TRADE CAUSED BY OPERATIONS OF ANOTHER, SHALL BE CONTRACTORS RESPONSIBILITY.

14. SAFETY
CONTRACTORS SHALL EXERCISE PRECAUTION AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. OBSERVE THE PROVISIONS OF APPLICABLE LAWS, BUILDING AND CONSTRUCTION CODES AND OSHA. IN NO CASE SHALL THE OWNER AND/OR THE OWNER'S REPRESENTATIVE BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK NOR SHALL THE OWNER AND/OR ARCHITECT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO EMPLOY PROPER SAFETY PROCEDURES.

15. SCAFFOLDING
FURNISH AND MAINTAIN ANY STAGING, RIGGING SCAFFOLDING AND RUNWAYS REQUIRED IN THE PROSECUTION OF THE WORK. ERECT EQUIP. AND MAINTAIN SUCH TEMPORARY WORK IN ACCORDANCE WITH STATUTES, LAWS, ORDINANCES, RULES OR REGULATIONS OF THE STATE IN WHICH THE WORK IS PERFORMED OR OTHER AUTHORITIES AND INSURANCE COMPANIES HAVING JURISDICTION.

16. PROTECTION OF EXISTING INSTALLATIONS
A. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, UTILITIES, SIGNS, AND INSTALLATIONS OF ANY KIND AGAINST DAMAGE OR INTERRUPTION OF SERVICE. HE SHALL AT ALL TIMES PROTECT AND PRESERVE ALL MATERIALS, SUPPLIES AND EQUIPMENT OF EVERY DESCRIPTION INCLUDING PROPERTY WHICH MAY BE OWNER FURNISHED OR OWNED AND ALL WORK PERFORMED. INTERRUPTIONS OF SERVICES, RESULTING FROM FAILURE TO ADEQUATELY PROTECT UTILITY INSTALLATIONS SHALL BE PROMPTLY REPAIRED AND RESTORED AT CONTRACTORS EXPENSE. THE CONTRACTOR WILL NOTIFY THE OWNER OR HIS REPRESENTATIVE OF ANY IMPENDING INTERRUPTION OF SERVICE.
B. OWNER'S REPRESENTATIVE WILL MAKE AN INSPECTION TO VERIFY THE STATUS OF COMPLETION WITH REASONABLE PROMPTNESS AFTER RECEIPT OF SUCH CERTIFICATION.
C. SHOULD OWNER'S REPRESENTATIVE CONSIDER THAT THE WORK IS INCOMPLETE OR DEFECTIVE WORK.

17. AREA MAINTENANCE
A. GENERAL CONTRACTOR IS TO OVERSEE CLEANING AND ENSURE THAT THE PREMISES ARE MAINTAINED FREE OF RUBBISH DURING CONSTRUCTION. FINAL CLEANUP IS THE RESPONSIBILITY OF GENERAL CONTRACTOR. REPAIR, PATCH, TOUCH-UP, OR REPLACE MARRED SURFACES AND MAINTAIN CLEANING UNTIL OCCUPIED BY OWNER.
B. THE CONSUMPTION OF FOOD AND DRINK, OR SMOKING, SHALL NOT BE PERMITTED ON THE PREMISES EXCEPT IN AREAS DESIGNATED BY OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL MAINTAIN THESE AREAS IN A CLEAN AND SAFE CONDITION.
C. THE CONTRACTOR IS TO MAINTAIN SANITARY FACILITIES ON THE SITE, AND REFRAIN FROM UTILIZING THE EXISTING TOILETS, ETC.

18. SHOP DRAWINGS AND SAMPLES
A. WHEN INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE THE CONTRACTOR SHALL SUBMIT, WITH ALL PROMPTNESS AS TO CAUSE NO DELAY IN HIS OWN WORK OR IN THAT OF ANY OTHER CONTRACTOR, ACCURATE SHOP DRAWINGS AND DETAILS OF WORK, AND OF THE CONNECTION AND COORDINATION OF SUCH WORK TO THAT OF OTHER TRADES HAVING TO DO WITH THE CONSTRUCTION, ALTERATION OR EQUIPMENT OF THE BUILDING, TO THE OWNER'S REPRESENTATIVE FOR HIS APPROVAL. THE CONTRACTOR WILL BE REQUIRED TO INDICATE CLEARLY ALL HIS WORK. THEY SHALL INDICATE CLEARLY: FULL ELEVATIONS, DIMENSIONS, METHODS OF CONSTRUCTION, TYPES OF MATERIAL FINISHES, DATES OR PRELIMINARY SUBMITTALS, REVISIONS, NAME AND LOCATION OF THE SUBJECT PORTION OF WORK, THE NAME OF THE OWNER AND WHATEVER OTHER INFORMATION THAT MAY BE APPROPRIATE.
B. THE OWNERS REPRESENTATIVE SHALL PASS UPON THE CONTRACTOR'S SHOP DRAWINGS WITH REASONABLE PROMPTNESS, MAKING DESIRED CORRECTIONS, INCLUDING ALL NECESSARY CORRECTIONS, RELATING TO ARTISTIC EFFECT. THE CONTRACTOR SHALL MAKE ALL CHANGES REQUIRED AND SUBMIT CORRECTED COPIES.

C. DRAWINGS AND OTHER DATA THAT ARE RESUBMITTED. IF RETURNED "APPROVED AS NOTED", THE CONTRACTOR MAY PROCEED WITH THE WORK THEREON AS PER ADDED NOTATIONS AND CORRECTIONS.

D. DRAWINGS AND DATA THAT ARE STAMPED "RESUBMIT" OR "REJECTED" SHALL BE REVISED AS INDICATED, AND THEN RESUBMITTED. THE PROCEDURE SHALL BE REPEATED UNTIL THE DRAWINGS AND DATA ARE APPROVED BY THE OWNER'S REPRESENTATIVE. NO WORK MAY PROCEED UNTIL THE CONTRACTOR HAS, IN HIS POSSESSION, SHOP DRAWINGS APPROVED BY THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ALSO BE REQUIRED TO HAVE AVAILABLE, AT THE JOB SITE, AT LEAST ONE (1) SET OF SHOP DRAWINGS THAT BEAR THE OWNERS REPRESENTATIVE STAMP OF APPROVAL, AND TO ISSUE COPIES OF THESE APPROVED DRAWINGS, AT HIS EXPENSE, TO OTHERS INVOLVED IN THE WORK.

E. OWNER'S REPRESENTATIVE WILL FURNISH COLOR CHIPS FOR COLOR INDICATIONS ON ALL PAINTED OR TEXTURED SURFACES AND SAMPLES OF NATURAL OR STAINED WOOD FINISH REQUIRED. IN TURN, THE CONTRACTOR SHALL PREPARE AND SUBMIT ALL SAMPLES AND SURFACES, AND NATURAL OR STAINED WOOD FINISHES AS DIRECTED AND REQUIRED BY THE OWNERS REPRESENTATIVE. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPROVED SAMPLES.

F. NO SUBSTITUTIONS OR CHANGES WILL BE ALLOWED WITHOUT THE OWNER'S REPRESENTATIVE WRITTEN APPROVAL.

G. ALL COSTS PERTAINING TO THE PREPARATION AND SUBMITTAL OF SAMPLES WILL BE BORNE BY THE CONTRACTOR.

19. FINAL COMPLETION
A. WHEN CONTRACTOR CONSIDERS THE WORK COMPLETE, HE SHALL SUBMIT WRITTEN CERTIFICATION THAT:

1. CONTRACT DOCUMENTS HAVE BEEN REVIEWED.
2. WORK HAS BEEN INSPECTED FOR COMPLIANCE WITH CONTRACT DOCUMENTS.
3. WORK HAS BEEN INSPECTED FOR COMPLIANCE WITH CONTRACT DOCUMENTS OR DESCRIBE IN DETAIL, WORK REMAINING TO BE COMPLETED AND WHEN IT WILL BE COMPLETE AND READY FOR INSPECTION
4. EQUIPMENT AND SYSTEMS HAVE BEEN TESTED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND ARE OPERATIONAL.
5. FINAL CLEAN-UP HAS BEEN PERFORMED.
6. REQUIRED TEST REPORTS HAVE BEEN SUBMITTED, (IF APPLICABLE).
7. ALL KEYS HAVE BEEN DELIVERED TO OWNER.
8. ALL OPERATING TOOLS, REPLACEMENT ITEMS, AND "ATTIC SHOCK" MATERIALS SPECIFIED HAVE BEEN DELIVERED TO OWNER, (IF APPLICABLE).

9. ALL REQUIRED CERTIFICATES AND GUARANTEES HAVE BEEN DELIVERED TO OWNER INCLUDING, BUT NOT LIMITED TO SIGNED-OFF PERMITS, FINAL INSPECTIONS AND CERTIFICATE OF OCCUPANCY BY LOCAL AUTHORITIES HAVING JURISDICTION, EVIDENCE OF PAYMENT, AND RELEASE OF LIENS AND CERTIFICATE OF INSURANCE FOR PRODUCTS AND COMPLETED OPERATIONS, (IF APPLICABLE).
10. OWNER'S REPRESENTATIVE WILL PROMPTLY NOTIFY THE CONTRACTOR IN WRITING LISTING THE INCOMPLETE OR DEFECTIVE WORK.

20. FINAL CLEAN-UP
A. PRIOR TO FINAL INSPECTIONS AND THE OWNER'S ACCEPTANCE TO THE WORK, CLEAN ALL AREAS OF THE BUILDING, PROJECT SITE, OR TENANT LEASE SPACE AS NECESSARY. THESE CLEAN UP OPERATIONS INCLUDE BUT ARE NOT LIMITED TO:
1. CLEANING ALL GLASS AREAS, INTERIOR AND EXTERIOR
2. CLEANING ALL EXPOSED UNPAINTED METALS.
3. REMOVING ALL TRASH AND DEBRIS OF EVERY NATURE FROM THE SITE AND PROVIDING LEGAL DISPOSAL.
4. CLEANING ALL EXPOSED SURFACES INCLUDING LENSES OF ALL LIGHTING FIXTURES. REMOVING CONSTRUCTION DUST, PAINT OVERSPRAY, AND HAND PRINTS.
5. CLEANING ALL TOILET PARTITIONS, FIXTURES AND ACCESSORIES.
6. REMOVING ALL SURPLUS MATERIALS, TOOLS NOT IN ACTIVE USE, SCAFFOLDING AND OTHER MATERIALS NO LONGER NEEDED.
7. VACUUMING ALL CARPETED FLOORS.

B. ALL CLEANING OPERATIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS USING PRODUCTS APPROVED BY THE MANUFACTURER FOR THE MATERIAL BEING CLEANED.
21. GENERAL DEMOLITION NOTES
A. EXECUTE DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK AND WILL PROVIDE PROPER SURFACES TO RECEIVE NEW FINISHES OR EQUIPMENT.
B. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS AS REQUIRED TO PROVIDE COMPLETED WORK.
C. WHERE AREAS HAVE BEEN PATCHED THAT ARE NOT RECEIVING NEW FINISHES, REPAIR THE PATCHED AREA FINISH TO MATCH THE EXISTING FINISHES TO REMAIN.

22. STRUCTURAL NOTES
A. THE SIZING OF FOUNDATION AND STRUCTURAL MEMBERS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.
B. ALL TIMBERS AND OR ENGINEERED LUMBER SHALL BE DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
C. INSPECTION OF EXISTING STRUCTURAL SYSTEMS AND DETERMINATION OF THEIR ADEQUACY AND SOUNDNESS FOR SUPPORTING ALL NEW LOADING CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
D. DESIGN OF ALL STRUCTURAL ELEMENTS RELATING TO THE NEW AND THE RENOVATED CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS AGENTS. THIS INCLUDES BUT IS NOT LIMITED TO - FOOTING SIZE AND DESIGN PER THE BEARING CAPACITY OF THE SITE; DETERMINING THICKENED SLAB LOCATIONS AT BEARING WALLS; ALL FLOOR, WALL, ROOF FRAMING SYSTEMS; AND PIER SIZE AND LOCATIONS AT NEW OR RENOVATED CONSTRUCTION.
E. VERIFYING AND MAINTAINING FINISH FLOOR ELEVATIONS, INCLUDING THE ALIGNMENT OF NEW CONSTRUCTION WITH EXISTING FINISH FLOOR ELEVATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY REQUIRING VARIANCE FROM THE ARCHITECTS DESIGN INTENT.
F. RELOCATION AND/OR ADDITION OR CRAWLSPACE ACCESS DOOR AND VENTS TO MAINTAIN ADEQUATE ACCESS AND VENTILATION AS PER THE REQUIRED CODE(S) SHALL BE PROVIDED BY THE CONTRACTOR.

23. ELECTRICAL, CABLE, AND PHONE NOTES
A. ELECTRICAL DESIGN SHALL BE PROVIDED BY THE ELECTRICAL SUB CONTRACTOR ON A DESIGN-BUILD BASIS.
B. ELECTRICAL WORK SHALL CONFORM WITH THE INTERNATIONAL RESIDENTIAL CODE, THE NATIONAL ELECTRICAL CODE, AND LOCAL ORDINANCES HAVING JURISDICTION.
C. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND BE FAMILIAR WITH ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION. EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PARTS OF THE FINAL SYSTEM SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING BID.
D. COMMUNICATION SYSTEM WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH OWNER'S CONSULTANT AND/OR VENDOR AND THE TELEPHONE COMPANY.
E. CONTRACTOR TO PROVIDE THE TELEPHONE COMPANY WITH ALL CONDUITS, POWER, TELEPHONE BOARD, ETC., NECESSARY TO ACCOMMODATE THE OWNER REQUIREMENTS.
F. ELECTRICAL SUB CONTRACTOR SHALL PROVIDE AND INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
G. COORDINATE THE LOCATION OF ALL CABLE CONNECTIONS AND DATA PORTS WITH THE OWNER.
H. RECESSED FIXTURES AND DEVICES SHALL BE PROVIDED BY THE CONTRACTOR. REVIEW FIXTURE DESIGN AND COLOR WITH OWNER AND ARCHITECT PRIOR TO ORDER.
I. THE OWNER SHALL BE PROVIDED WITH AN ALLOWANCE FOR ALL DECORATIVE LIGHTING.
J. THE ELECTRICAL, TELEPHONE AND DATA COMMUNICATION PLANS SHALL BE USED TO DETERMINE THE LOCATION, QUANTITY, EXTENT, AND TYPE OF OUTLET. THE CONTRACTOR SHALL PROVIDE CIRCUITRY IN COMPLIANCE WITH LOCAL CODES.
K. WHERE MULTIPLE SWITCHES OCCUR, PROVIDE GANG BACKBOXES WITH SINGLE SWITCH PLATE.
L. SWITCHES SHALL BE LOCATED 0'-6" FROM ADJACENT DOOR FRAME OR WALL AND GROUPED TOGETHER IN SWITCH BANKS AS REQUIRED.
M. THE REFLECTED CEILING PLAN/ LIGHTING/ELECTRICAL PLAN IS CONCEPTUAL AND SHALL BE USED TO DETERMINE THE LOCATION, QUANTITY, EXTENT, AND TYPE OF LIGHT FIXTURES, MECHANICAL DIFFUSERS AND GRILLES AND SHALL BE APPROVED BY OWNER. CONFLICTS WITH EXISTING ELEMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

24. HVAC AND PLUMBING NOTES
A. HVAC DESIGN SHALL BE PROVIDED BY THE MECHANICAL SUB CONTRACTOR ON A DESIGN-BUILD BASIS.
B. PLUMBING DESIGN SHALL BE PROVIDED BY THE MECHANICAL SUB CONTRACTOR ON A DESIGN-BUILD BASIS.
C. THE PLACEMENT OF THERMOSTATS SHALL BE APPROVED BY THE OWNER.
D. HVAC/PLUMBING DESIGN SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
E. CONTRACTOR SHALL COORDINATE WITH SUBCONTRACTOR REQUIRED FOR THE REFINED BALANCE OF HVAC SYSTEMS.
F. ALL EXISTING FIXTURES TO REMAIN UNLESS OTHERWISE NOTED.

25. GENERAL FINISH NOTES
A. PAINTS (TWO COATS) AND WALL COVERING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATION FOR THE PARTICULAR SURFACE.
B. SAMPLES OF FINISH COLORS SPECIFIED SHALL BE SUBMITTED FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
C. METAL SURFACES SHALL BE PROPERLY PREPARED PRIOR TO PAINTING.
D. WALLS SHALL BE PROPERLY SPACKLED, SANDED, AND PRIMED FOR PAINTING OR WALL COVERING.
E. PAINT FINISH OF WALL SURFACES, UNLESS OTHERWISE NOTED, TO BE EGGSHELL LATEX.
F. NO ASBESTOS PRODUCTS SHALL BE INCORPORATED IN ANY FINISH MATERIALS UTILIZED THROUGHOUT THIS PROJECT.

General Notes:

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT.
- ALL MATERIALS PROVIDED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATIONS AND AS PER CODE REQUIREMENTS.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL MEET ALL APPLICABLE CODES AND PROVISIONS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL VERIFY AND/OR OBSERVE ALL DIMENSIONS AND EXISTING CONDITIONS AND EVALUATE OVERALL STRUCTURAL INTEGRITY PRIOR TO DEMOLITION OR NEW CONSTRUCTION. ALL WORK SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS (IF PROVIDED) - THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY VARIANCES, INACCURACIES, DISCREPANCIES, INCONSISTENCIES, OR CONFLICTS. TOLERANCES SHALL BE ASSUMED TO APPLY TO ALL DIMENSIONS RELATING TO EXISTING CONDITIONS - ALL OTHER DIMENSIONS AND THE OVERALL DESIGN INTENT SHALL BE EVALUATED AND CONFIRMED BASED ON THE EXISTING STRUCTURE.
- THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF WORK.

Project Personnel:

ALLARD WARD ARCHITECTS LLC
1618 Sixteenth Avenue South
Nashville, Tennessee 37212
www.allardward.com
Tel: 615.345.1010
Fax: 615.345.1011

Michael Ward
Senior Partner
mward@allardward.com

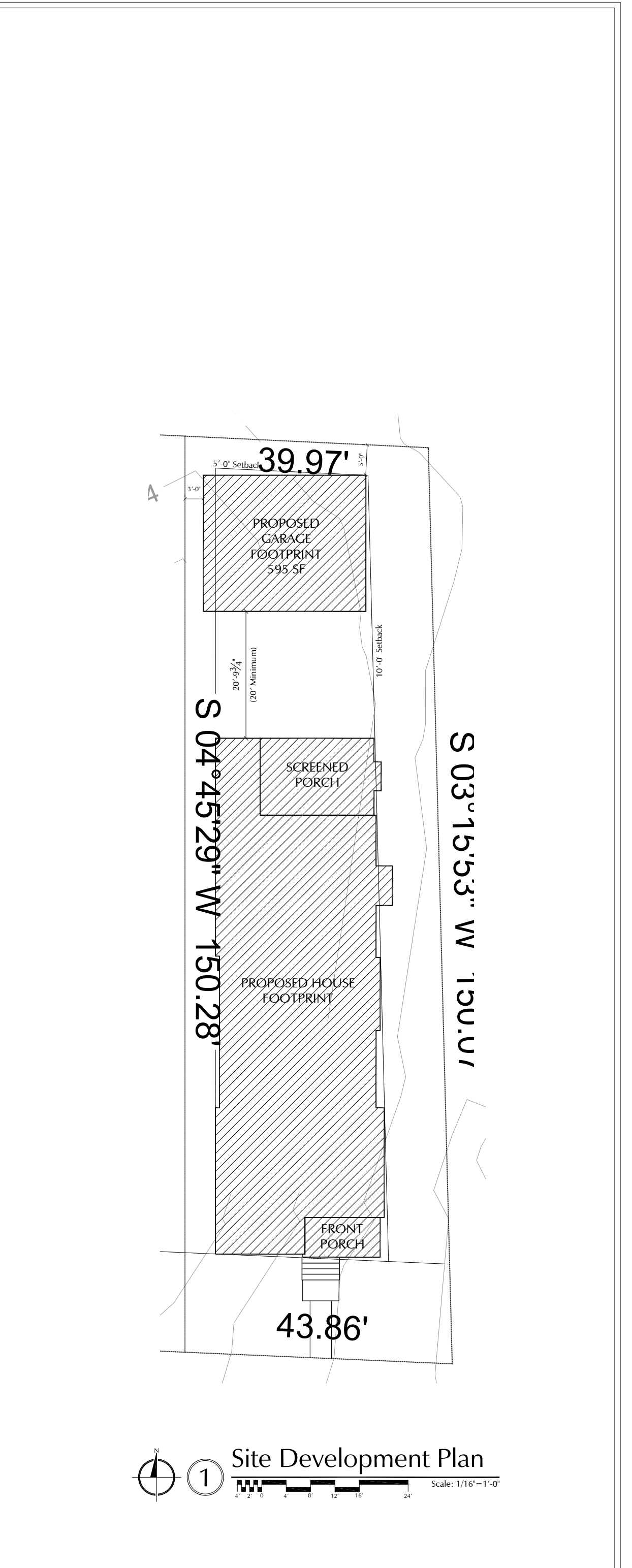
Brittney Mount
Project Manager
bmount@allardward.com

Area Calculations:

Category	Area
Garage (Unconditioned):	596 SF
Second Floor (Conditioned):	455 SF
Total Conditioned:	455 SF
Total Gross:	1,051 SF

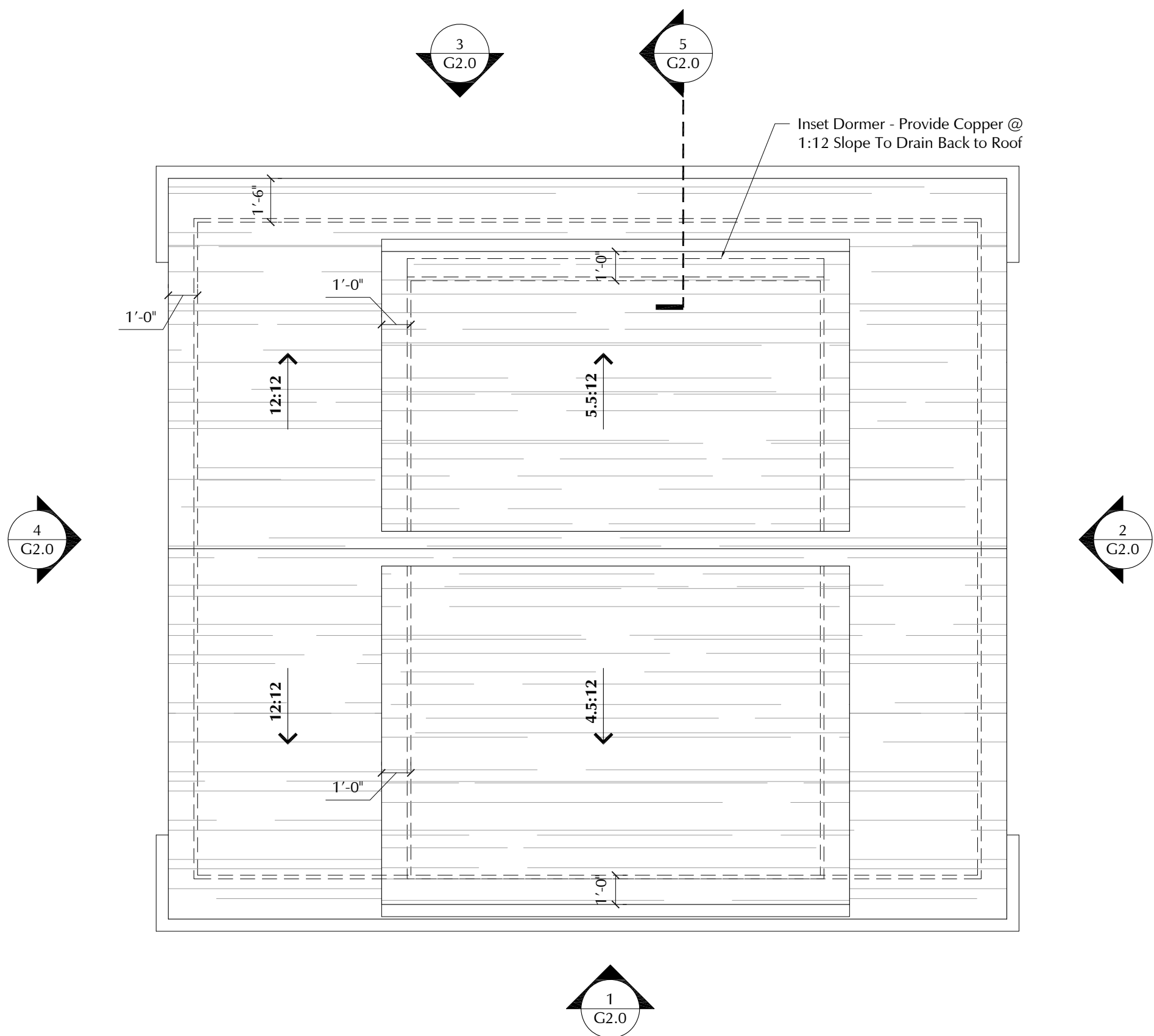
Drawing Index:

- Cover Sheet & General Notes
- G1.0 Garage Plans
 - G2.0 Garage Elevations

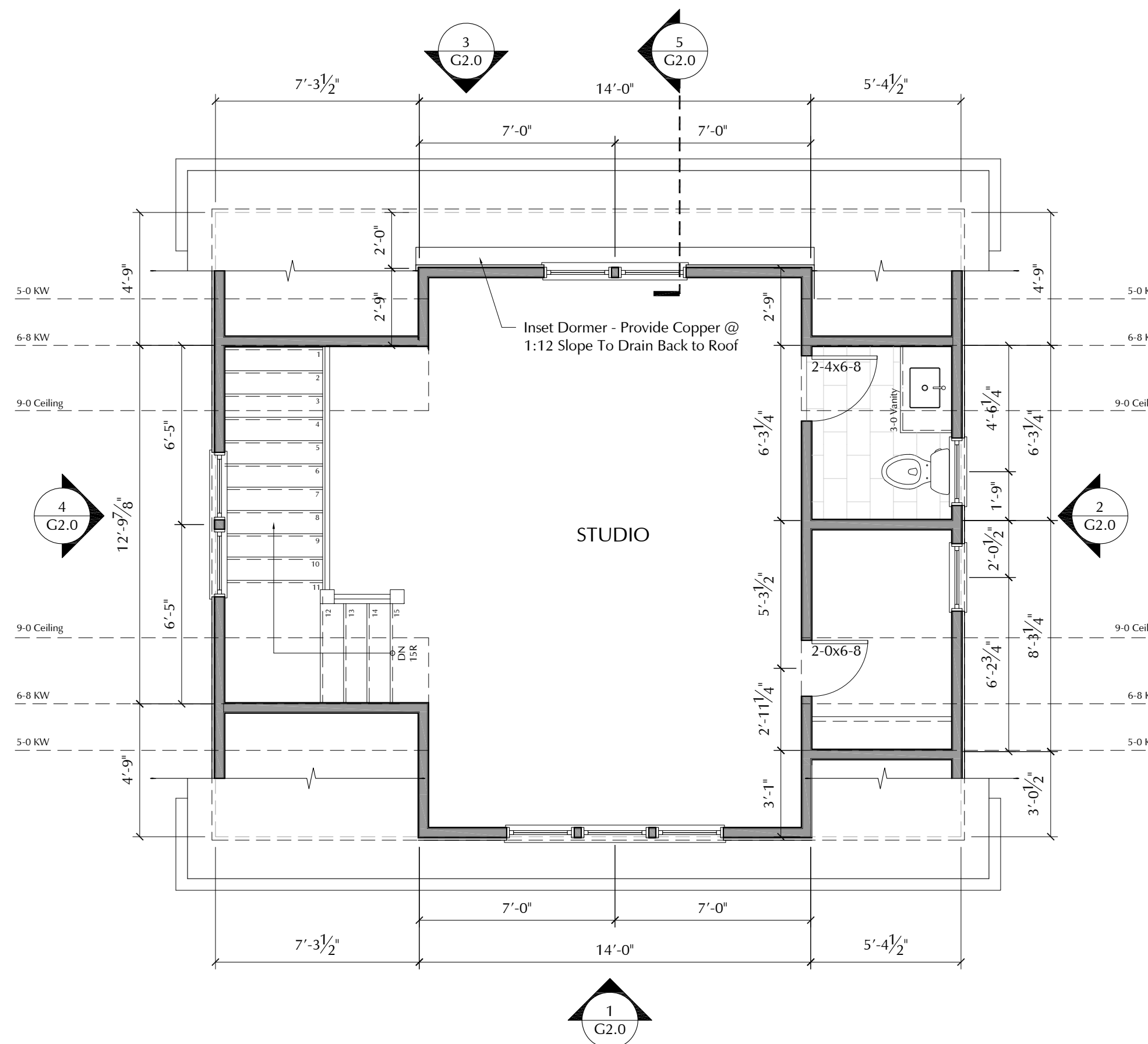


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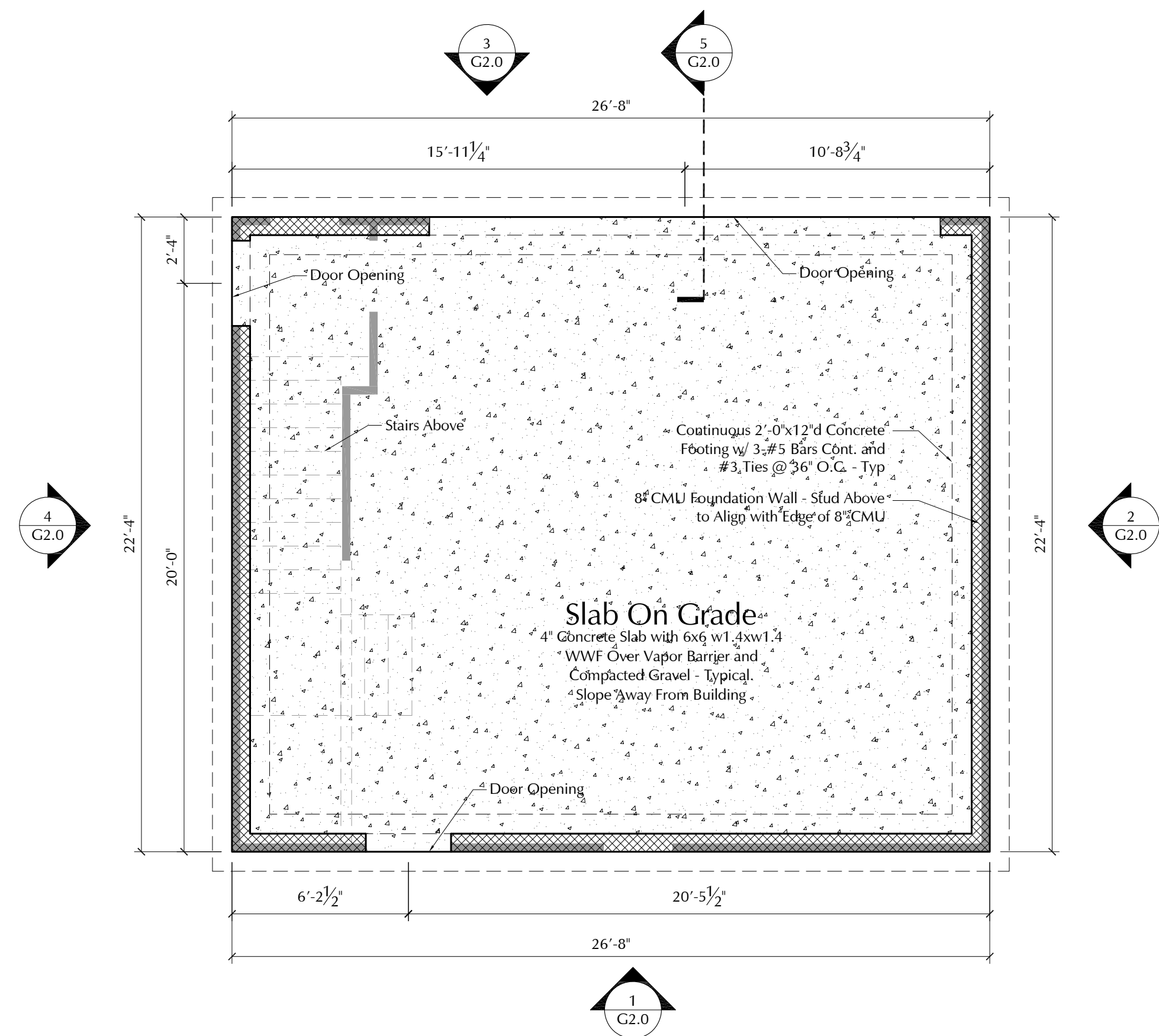
FAILURE TO ABIDE BY DESIGN DOCUMENTS OR TO OBTAIN GUIDANCE:
The Design Professional Waives Any and All Responsibility and Liability for Problems Which Arise From Failure to Follow These Plans, Specifications, and the Design Intent. They Convey, or for Problems Which Arise From Failure to Follow the Design Professional's Guidance With Respect to Any Errors, Omissions, Inconsistencies, Ambiguities, or Conflicts Which Are Alleged.



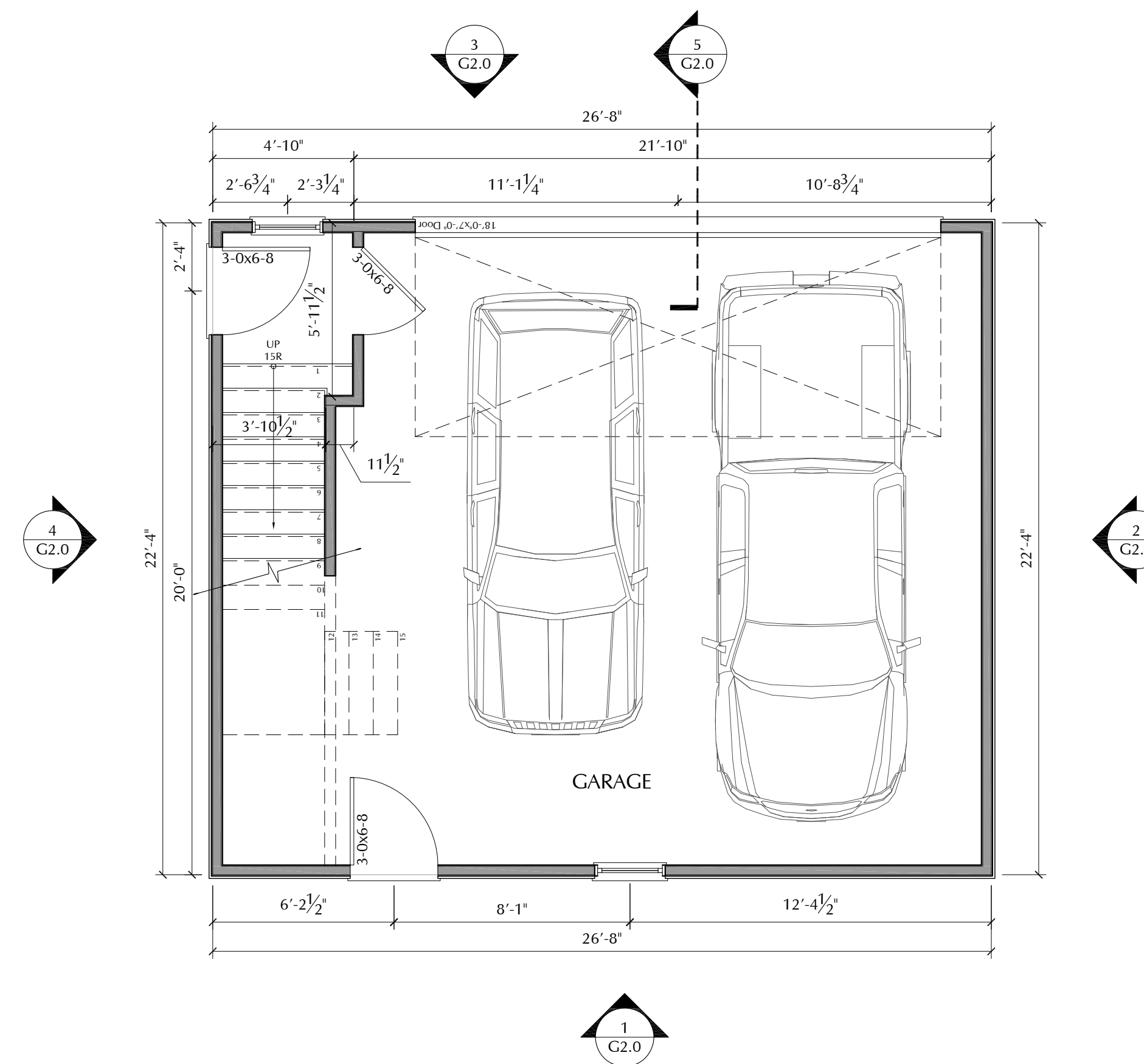
4 Roof Plan
Scale: 1/4"=1'-0"



3 Second Floor Plan
Scale: 1/4"=1'-0"



2 Foundation Plan
Scale: 1/4"=1'-0"



1 First Floor Plan
Scale: 1/4"=1'-0"

Plan Notes

Contractor Shall Verify and/or Observe All Dimensions and Existing Conditions and Evaluate Overall Structural Integrity Prior to Demolition or New Construction. All Work Shall Conform to the Drawings and Specifications (If Provided) - The Architect Shall be Notified Immediately of Any Variances, Inaccuracies, Discrepancies, Inconsistencies, or Conflicts. Tolerances Shall be Assumed to Apply to All Dimensions Relating to Existing Conditions - All Other Dimensions and the Overall Design Intent Shall be Evaluated and Confirmed Based on the Existing Structure.

Framing Layout is to be Determined by Others. The Utilization of Engineered Lumber Products is Acceptable, but Shall be the Full Responsibility of the Lumber Supplier. Lumber Dimensions Shall be Determined by the Supplier. Final Framing Layout Shall be Reviewed by the Architect.

All Exterior Walls Are Assumed to be 2x6 Studs and All Interior Walls Are Assumed to be 2x4 Studs - Unless Noted (or Graphically Illustrated) Otherwise. All Dimensions Are Witnessed From Face of Stud - Coordinate in Field

Coordinate All Window and Door Selections w/ Owner(s) and/ or Architect Including, but Not Limited to: Manufacturer, Type, Style, Material(s), Finish, Energy Efficiency, Muntin/Lite Pattern, and Hardware. Verify and Coordinate All Unit Sizes, Head and Sill Heights, and Rough Opening Dimensions. Coordinate and Install Brick Mold, Exterior Casing, Interior Trim, Shutters, Decorative Elements, etc. as Applicable - See Elevations. Coordinate Replacement and/or Refurbishment of Existing Windows in Existing Openings as Applicable - Verify Sizes. Install as per Manufacturer's Requirements. Verify That All Applicable Windows Meet Code Requirements for Egress - Coord. Required Window Sizes in Field Based on Window Manufacturer, etc. - **All Specified Sizes Correspond to Standard Marvin Window Units and are Provided Solely for Planning, Clarity, and Uniformity (Not to Dictate or Influence Window Selection). However, Proportions, Operation, and Lite Patterns Shall be Maintained. If Another Manufacturer is Chosen, All Windows Shall be Selected Based on the Closest Corresponding Standard Window Unit - Custom Units Shall Not be Used Unless Specified and/or Approved by and Owner(s) and/or Architect.**

Contractor is to be Responsible for the Coordination and Installation of All HVAC Equipment, Ducts, and Controls Based on Code Requirements, Load Calculations, and Owner(s) Requests. Verify Return-Air Requirements and Coordinate Locations in Field Based on the Requirements for the System(s). Coordinate Type and Location of Hot Water System in Field w/ Owner(s) and/or Architect.

Coordinate Driveway, Sidewalks, Required Retaining Walls, All Landscape and Hardscape Elements, and All Other Site Improvements w/ Owner(s), and Architect. Observe and Verify All Existing Site Conditions and Coordinate Grading in Field Based on Existing and Proposed Elevations. Grades and All Site Elements on Architectural Plans Are Only Representational.

Structural Roof Framing is Assumed to be 2x Dimensional Lumber Bearing on the Top Plate Unless Otherwise Noted or Detailed. As a Result, Ridge and Knee Wall Heights are Approximate as Noted on the Floor Plans and Exterior Elevations and May Deviate From the Calculated and Assumed Values Based on Actual Framing Methods, Lumber Dimensions, and Bearing Heights. Evaluate and Verify Conditions at Critical Locations Prior to Completion of Framing. Coordinate w/ Architect.

INSULATION NOTES:
Open Cell Polyurethane Spray Foam Insulation @ Rafters
Open Cell Polyurethane Spray Foam Insulation @ Wood Frame Walls

Type of Insulation to be Installed at All New and Existing Locations Shall be Verified w/ Owner(s) and Established Prior to Commencement of Work. All Insulation is to be Installed in Accordance w/ All Manufacturers' Requirements and Shall Meet or Exceed Code Requirements.

Foundation Notes

The Provided Foundation Plan is to be Used Solely as a General Guide for Budgetary and Planning Purposes - Design of All Structural Elements Relating to the New and the Renovated Construction Shall be the Responsibility of the Contractor and His Agents. This Includes but not limited to - Footing Size and Design per the Bearing Capacity of the Site; Determining Thickened Slab Locations at Bearing Walls; All Floor, Wall, Roof Framing Systems; and Pier Size and Locations at New or Renovated Construction. The Utilization of Engineered Lumber Products is Acceptable, but Shall be the Full Responsibility of the Lumber Supplier. Lumber Dimensions Shall be Determined by the Supplier. Coordinate Final Girder and Pier Placement (As Applicable) w/ Framing Layout. Final Framing Shall be Reviewed by the Architect.

Verify and/or Observe All Existing Foundation and Framing Conditions and Evaluate Structural Integrity Prior to New Construction. Contractor Shall Repair and Reinforce as Required for Additional Loads - Coordinate Location and Connection of New and Existing Foundation in Field.

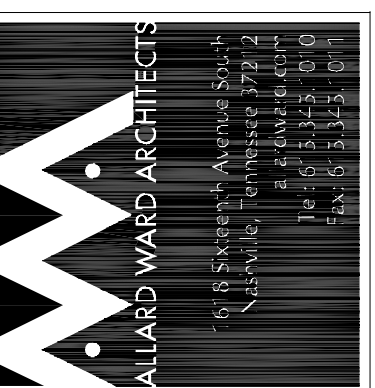
Determine Whether Crawl Space Will be Fully Encapsulated (Conditioned or Semi-Conditioned) or Vented - Provide Insulation, Vapor Barrier, Foundation Vents, and All Other Elements as Required Based on the Crawl Space and Foundation Design, Client Requests, Code Requirements, and Exterior Elevations - Coordinate w/ Owner(s) and Architect

Contractor is to be Responsible for the Coordination and Installation of All Ducts and HVAC Equipment Based on Code Requirements, Load Calculations, and Client Requests

An Outbuilding for:

1000 Halcyon Avenue

Nashville, TN 37204



Plot Date: 27 April, 2023

No.	Date	Description

Drawings:
Garage Plans

Elevation Notes

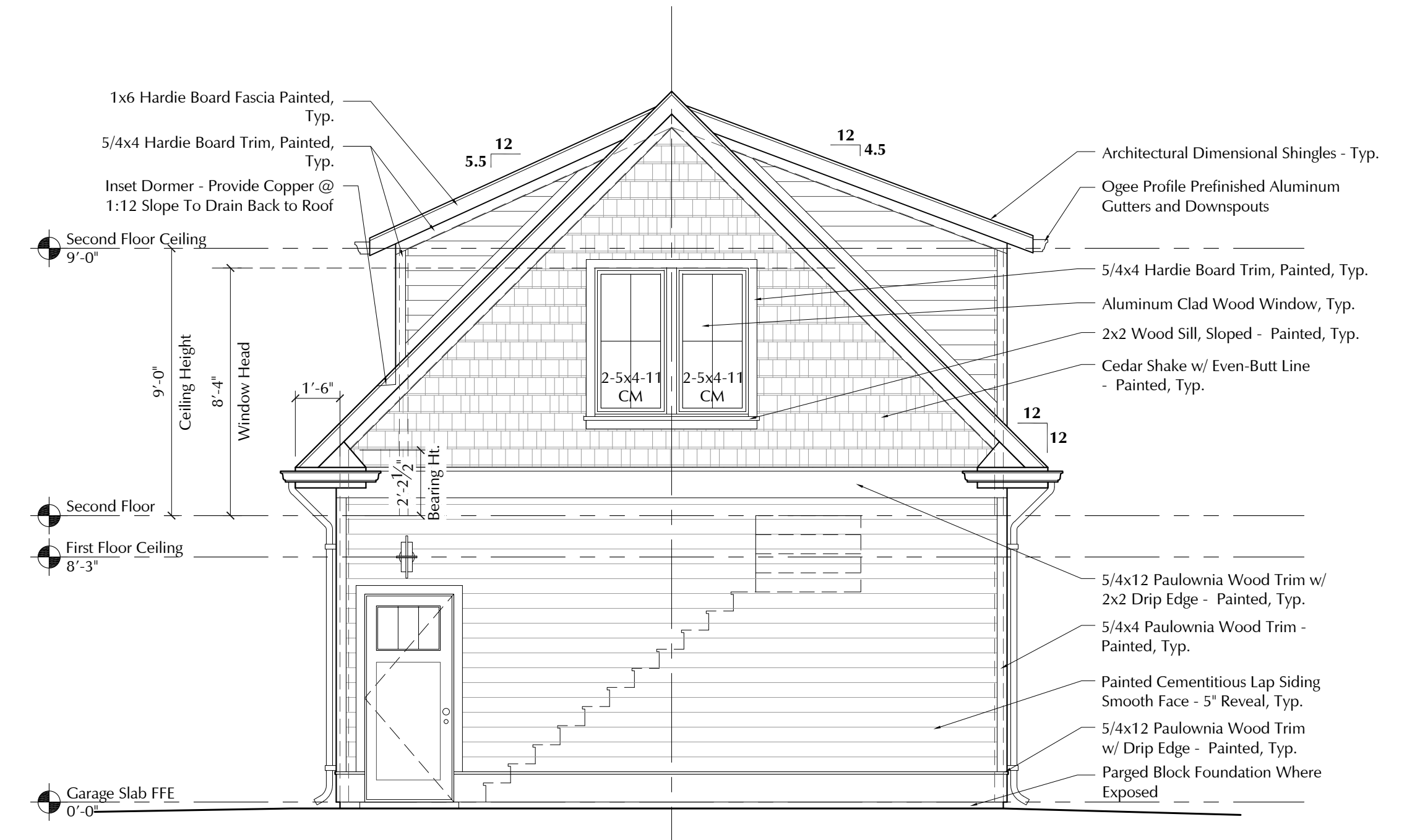
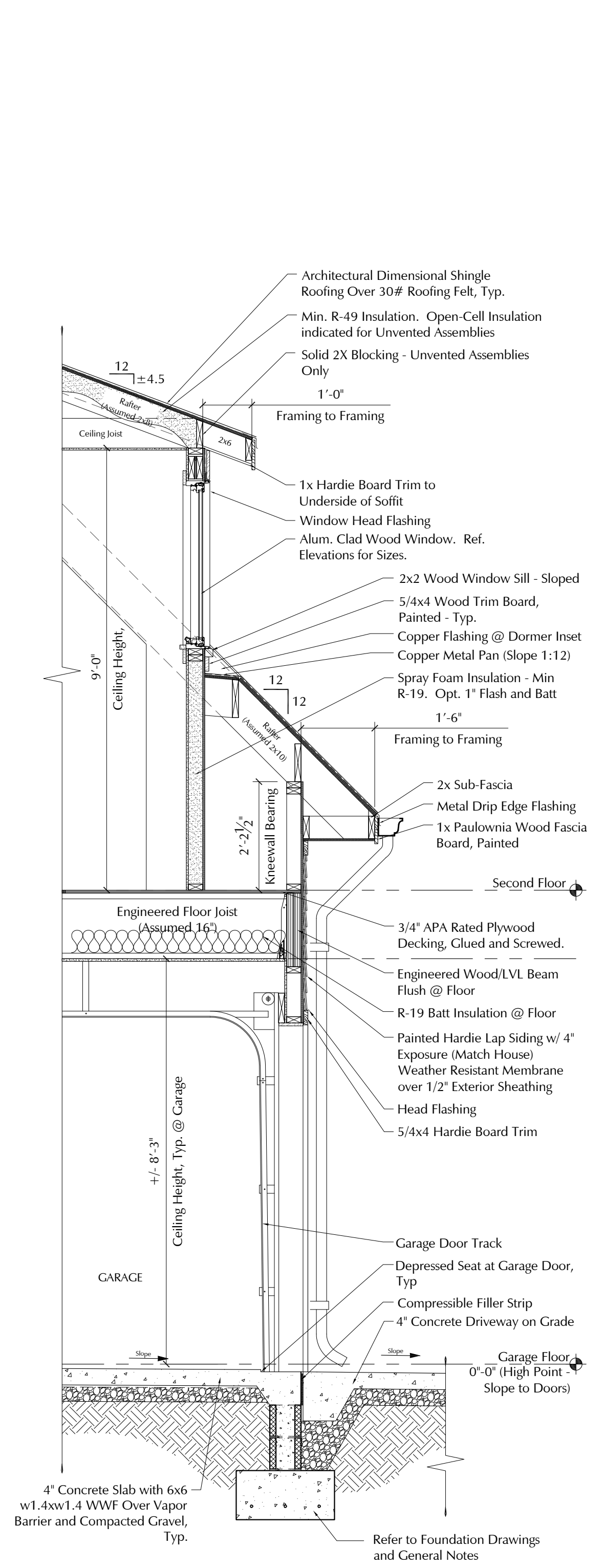
Exterior Elevations May Not be Visually Representative of Actual Site Conditions. Verify and Coordinate All Drawings w/ Grading in Field.
 Contractor Shall Verify and/or Observe All Dimensions and Existing Conditions and Evaluate Overall Structural Integrity Prior to Demolition or New Construction. All Work Shall Conform to the Drawings and Specifications (if Provided) - The Architect Shall be Notified Immediately of Any Variances, Inaccuracies, Discrepancies, Inconsistencies, or Conflicts. Tolerances Shall be Assumed to Apply to All Dimensions Relating to Existing Conditions - All Other Dimensions and the Overall Design Intent Shall be Evaluated and Confirmed Based on the Existing Structure.

All Eaves, Fascia Boards, and Gutters Are to Align as Illustrated on Exterior Elevations. Observe and Coordinate Framing Conditions Prior to Construction. Bearing Heights and Framing Connections Should be Coordinated to Facilitate Eave Alignment, etc. Structural Roof Framing is Assumed to be 2x Dimensional Lumber Unless Otherwise Noted or Detailed. Actual Conditions May Deviate Slightly From the Calculated, Assumed, and Expressed Exterior Representations Based on Actual Framing Methods, Lumber Dimensions, and Bearing Heights. Evaluate Conditions at Critical Locations Prior to Completion of Framing. Coordinate w/ Owner(s) and/or Architect.

Coordinate All Window and Door Selections w/ Owner(s) and/or Architect Including, but Not Limited to: Manufacturer, Type, Style, Materials, Finish, Energy Efficiency, Muntin/Le Pattern, and Hardware. Verify and Coordinate All Unit Sizes, Head and Sill Heights, and Rough Opening Dimensions. Coordinate and Install Brick Mold, Exterior Casing, Interior Trim, Shutters, Decorative Elements, etc. as Applicable - See Elevations. Coordinate Replacement and/or Refurbishment of Existing Windows in Existing Openings as Applicable - Verify Sizes. Install as per Manufacturer's Requirements. Verify That All Applicable Windows Meet Code Requirements for Egress - Coord. Required Window Sizes in Field Based on Window Manufacturer, etc. - **All Specified Sizes Correspond to Standard Marvin Window Units and are Provided Solely for Planning, Clarity, and Uniformity (Not to Dictate or Influence Window Selection). However, Proportions, Operation, and Lite Patterns Shall be Maintained. If Another Manufacturer is Chosen, All Windows Shall be Selected Based on the Closest Corresponding Standard Window Unit - Custom Units Shall Not be Used Unless Specified and/or Approved by and Owner(s) and/or Architect.**

All Windows Labeled as CM or AW shall be Stationary Units, Unless Elevations Indicate Operable Units

Coordinate Driveway, Sidewalks, Required Retaining Walls, All Landscape and Hardscape Elements, and All Other Site Improvements w/ Owner(s), and Architect. Observe and Verify All Existing Site Conditions and Coordinate Grading in Field Based on Existing and Proposed Elevations. Grades and All Site Elements on Architectural Plans Are Only Representational.



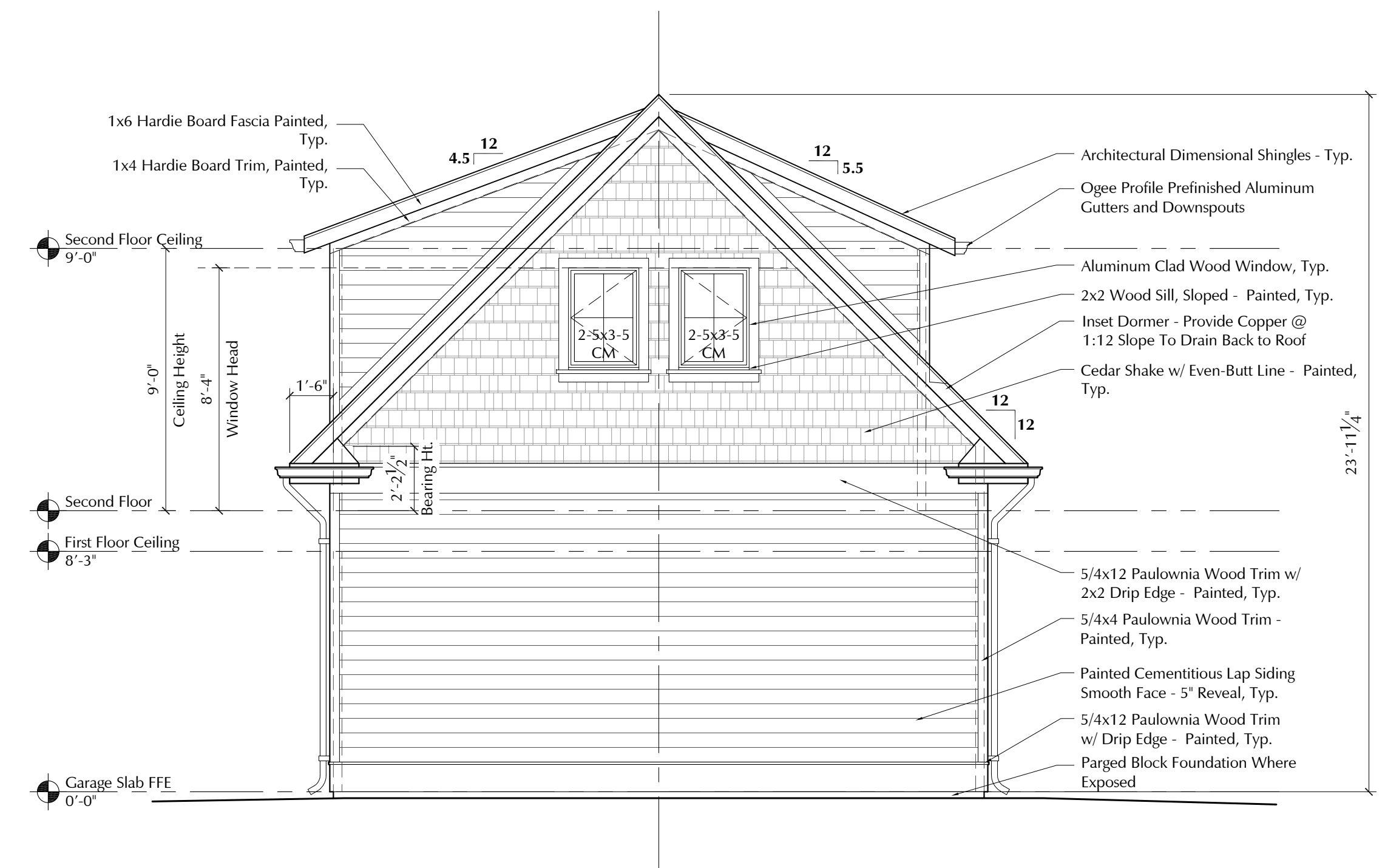
4 West Elevation

Scale: 1/4"=1'-0"



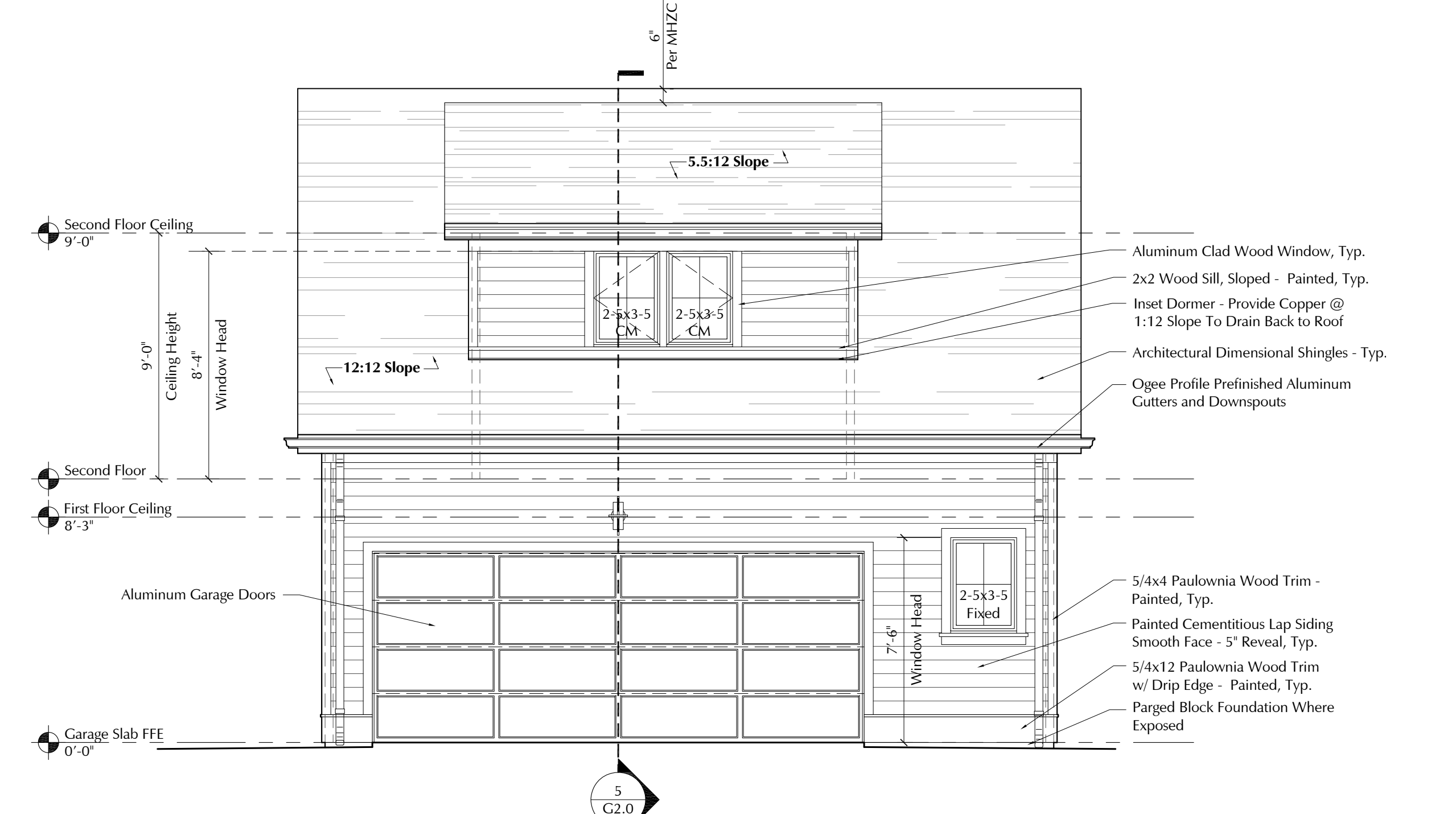
3 South Elevation

Scale: 1/4"=1'-0"



2 East Elevation

Scale: 1/4"=1'-0"



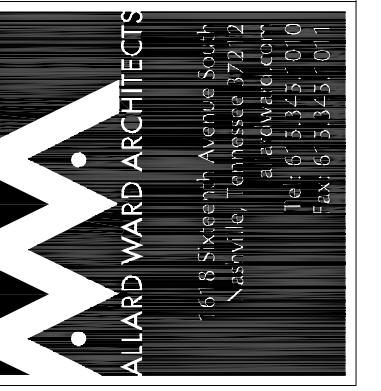
1 North Elevation

Scale: 1/4"=1'-0"

5 Wall Section

Scale: 1/2"=1'-0"

An Outbuilding for:
1000 Halcyon Avenue
 Nashville, TN 37204



No.	Date	Description

Plot Date: 27 April, 2023

Drawings:
 Garage Elevations

G2.0